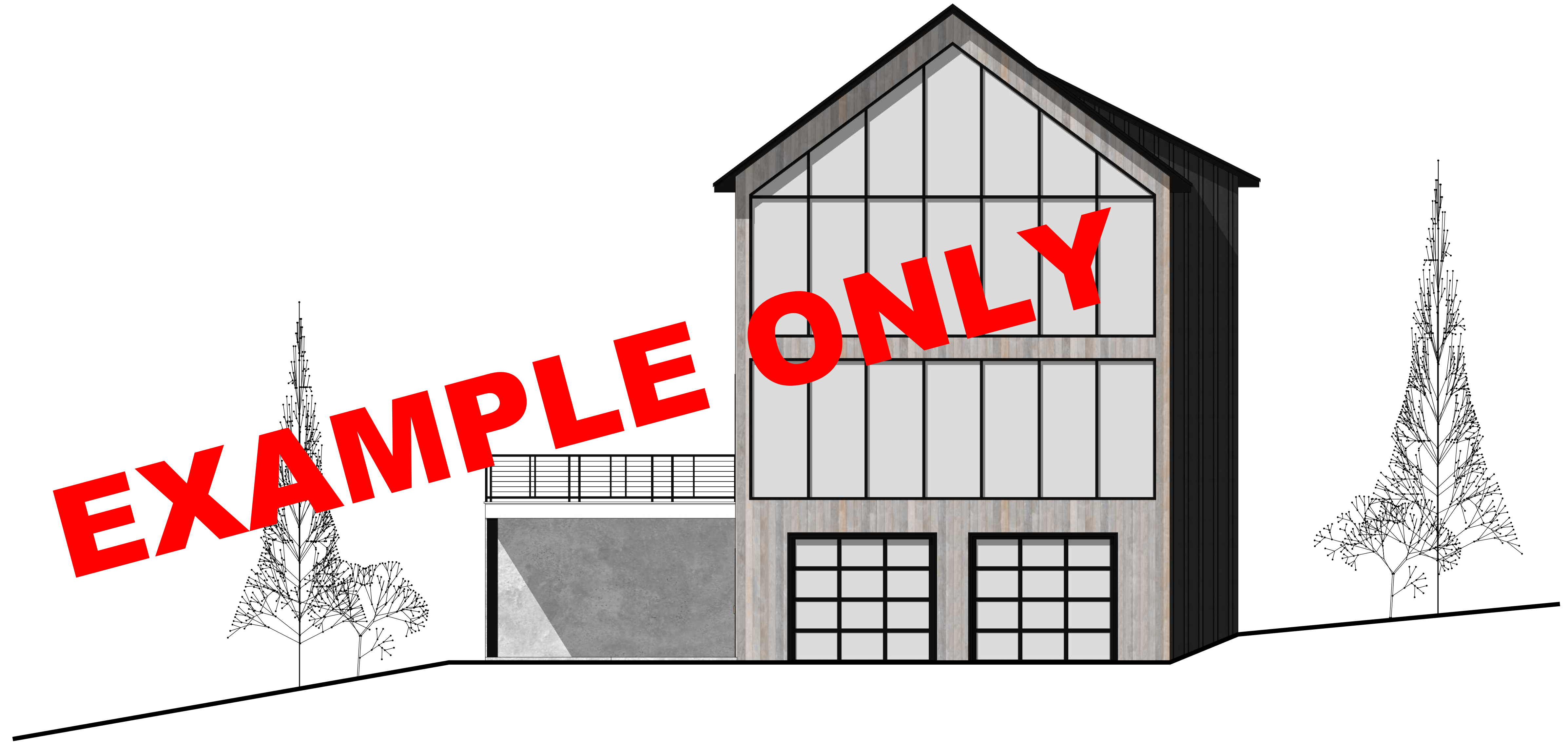


MODERN CABIN

LOT: TBD
Address: TBD

Construction Bid Documents:



DRAWING INDEX

Drawing Number	Title
Cover	Drawing Index
A-001	FOUNDATION PLAN
A-002	BASEMENT PLAN
A-003	MAIN FLOOR PLAN
A-004	ROOF PLAN
A-005	FRONT/REAR ELEVATIONS
A-006	SIDE ELEVATIONS
A-007	COURTYARD LAYOUT

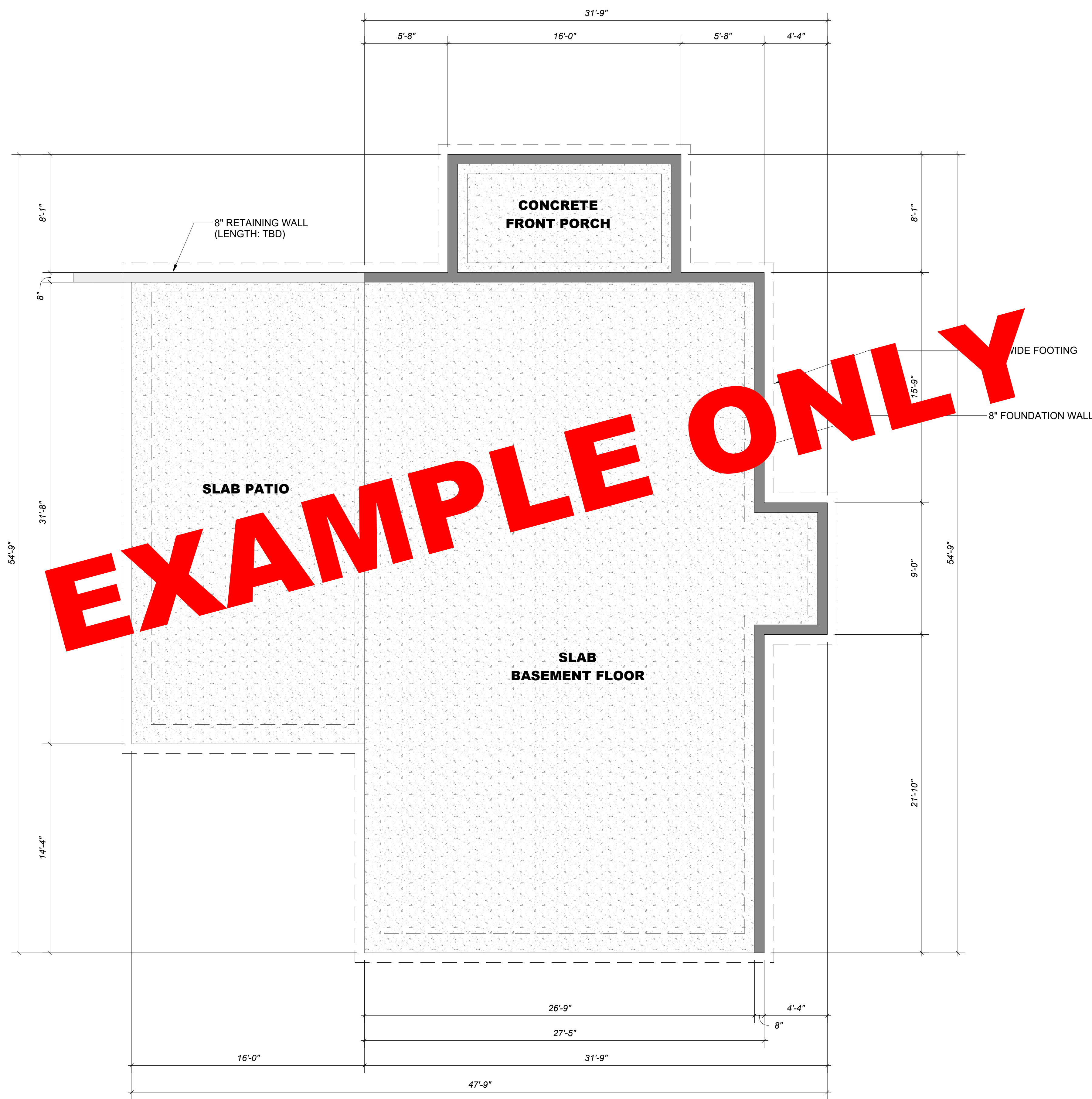
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BUILDER: TBD
PROJECT: TBD

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COVER SHEET
NOT FOR CONSTRUCTION. BID DOCUMENT ONLY



REVISIONS		REMARKS
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 PROJECT: TBD

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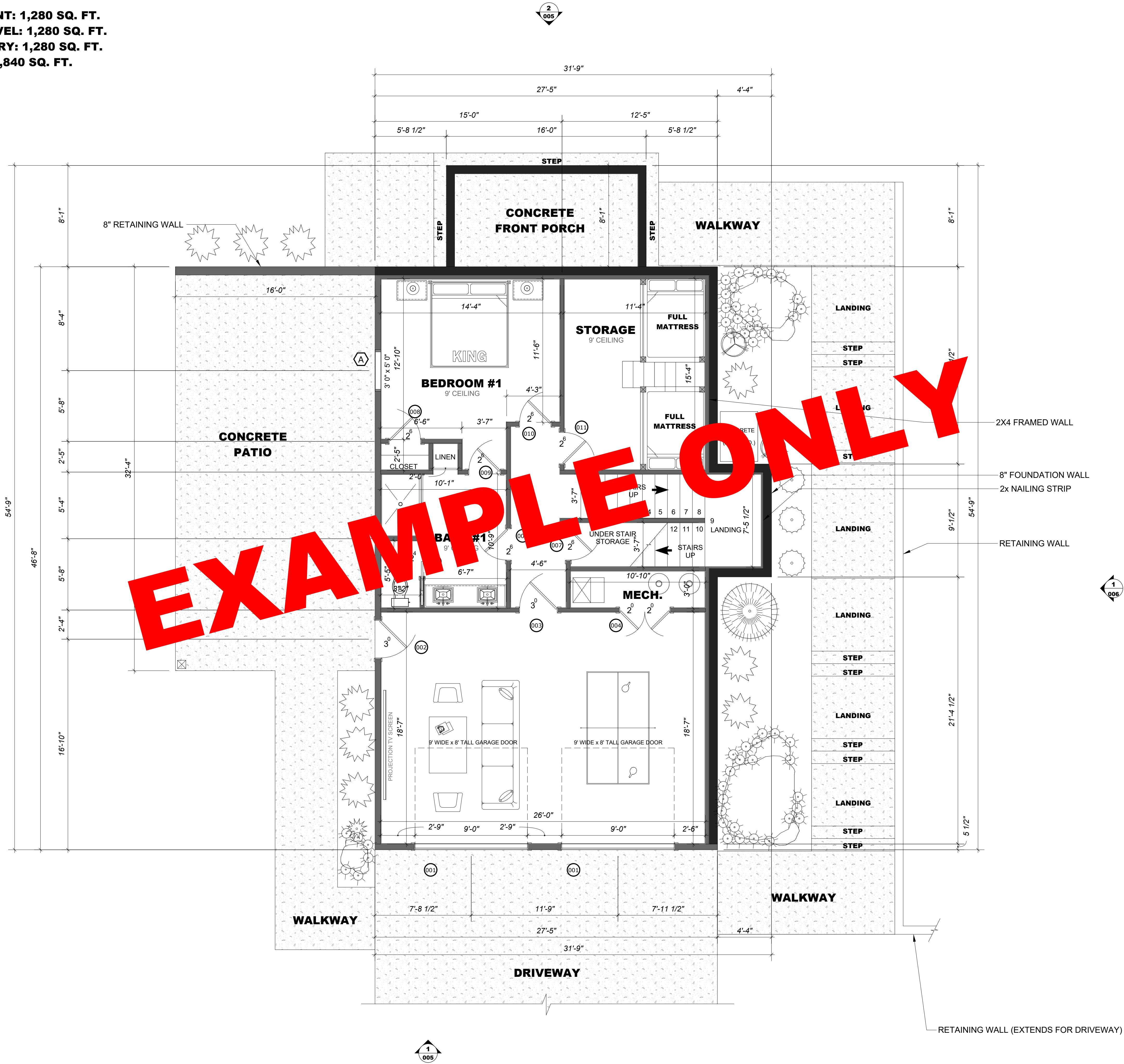
FOUNDATION PLAN

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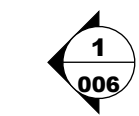
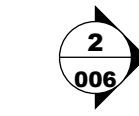
DOOR SCHEDULE			
#	SIZE		NOTES
	W	H	
001	108	96	INSULATED GARAGE DOOR
002	36	80	PATIO ENTRY
003	36	80	ENTRY DOOR
004	(2) 24	80	MECHANICAL CLOSET DOORS
005	28	80	TOILET POCKET DOOR
006	30	80	BATHROOM #1 ENTRY
007	30	80	UNDER STAIR STORAGE
008	30	80	BEDROOM #1 CLOSET
009	30	80	BATH #1 ENTRY
010	30	80	BEDROOM #1 ENTRY
011	30	80	STORAGE ENTRY

BASEMENT: 1,280 SQ. FT.
MAIN LEVEL: 1,280 SQ. FT.
2ND STORY: 1,280 SQ. FT.
TOTAL: 3,840 SQ. FT.

WINDOW SCHEDULE			
#	SIZE		NOTES
	W	H	
A	36	60	BEDROOM #1 WINDOW



EXAMPLE ONLY



1 BASEMENT PLAN
 002 SCALE----- 1/4" = 1' 0"

REVISIONS	
NO.	REMARKS
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BUILDER: TBD
 PROJECT: TBD

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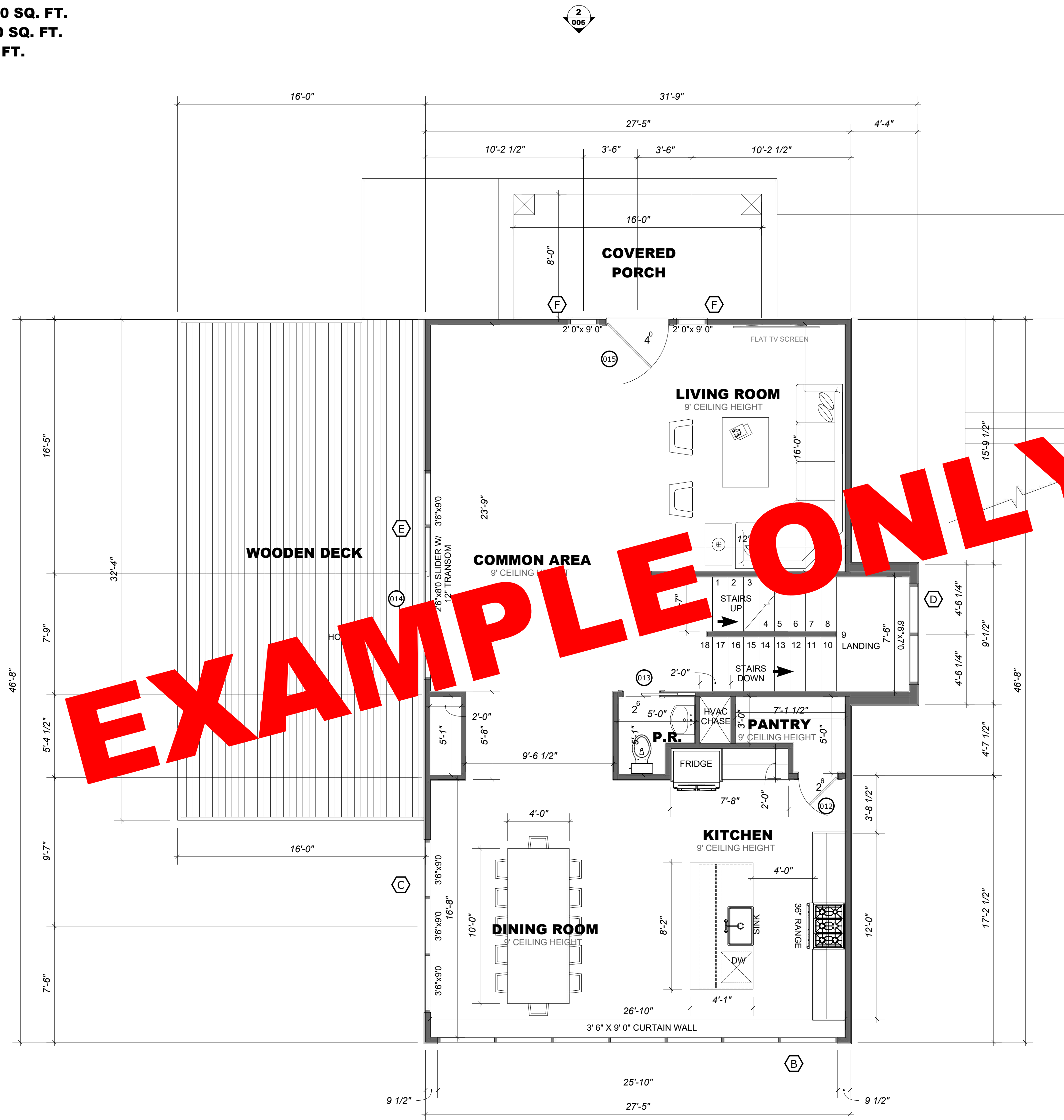
BASEMENT PLAN
 NOT FOR CONSTRUCTION. BID DOCUMENT ONLY

DOOR SCHEDULE			
#	SIZE		NOTES
	W	H	
001	108	96	INSULATED GARAGE DOOR
002	36	80	PATIO ENTRY
003	36	80	ENTRY DOOR
004	(2) 24	80	MECHANICAL CLOSET DOORS
005	28	80	TOILET POCKET DOOR
006	30	80	BATHROOM #1 ENTRY
007	30	80	UNDER STAIR STORAGE
008	30	80	BEDROOM #1 CLOSET
009	30	80	BATH #1 ENTRY
010	30	80	BEDROOM #1 ENTRY
011	30	80	STORAGE ENTRY
012	32	80	PANTRY DOOR
013	32	80	POWDER ROOM ENTRY
014	32	80	DECK ACCESS (FULL VIEW)
015	48	96	48" X 96" W/ 12" TRANSOM

WINDOW SCHEDULE			
#	SIZE		NOTES
	W	H	
B	310	108	STRUCTURAL CURTAIN WALL
C	134	108	STRUCTURAL TRIPLE WINDOW
D	78	84	TWIN WINDOW
E	162	108	STRUCTURAL WINDOW W/ 5' SLIDER
F	24	108	STRUCTURAL WINDOW

BASEMENT: 1,280 SQ. FT.
MAIN LEVEL: 1,280 SQ. FT.
2ND STORY: 1,280 SQ. FT.
TOTAL: 3,840 SQ. FT.

NOTE: ALL MEASUREMENTS FROM FRAMING



EXAMPLE ONLY

1 MAIN LEVEL FLOORPLAN
 003 SCALE----- 1/4" = 1' 0"

REVISIONS	REMARKS
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BUILDER: TBD
 PROJECT: TBD

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MAIN LEVEL FLOORPLAN
 NOT FOR CONSTRUCTION. BID DOCUMENT ONLY

DOOR SCHEDULE			
#	SIZE		NOTES
	W	H	
001	108	96	INSULATED GARAGE DOOR
002	36	80	PATIO ENTRY
003	36	80	ENTRY DOOR
004	(2) 24	80	MECHANICAL CLOSET DOORS
005	28	80	TOILET POCKET DOOR
006	30	80	BATHROOM #1 ENTRY
007	30	80	UNDER STAIR STORAGE
008	30	80	BEDROOM #1 CLOSET
009	30	80	BATH #1 ENTRY
010	30	80	BEDROOM #1 ENTRY
011	30	80	STORAGE ENTRY
012	32	80	PANTRY DOOR
013	32	80	POWDER ROOM ENTRY
014	32	80	DECK ACCESS (FULL VIEW)
015	48	96	48" X 96" W/ 12" TRANSOM
016	36	80	MASTER BATH# BARN STYLE DOOR
017	30	80	MASTER CLOSET ENTRY
018	30	80	MASTER BEDROOM ENTRY
019	36	80	LAUNDRY ENTRY
020	30	80	LINEN CLOSET
021	30	80	BEDROOM #2 ENTRY
022	48	80	MECHANICAL ROOM: (2) 24" DOORS
023	32	80	BEDROOM #2 CLOSET
024	28	80	BATH #2 POCKET DOOR
025	30	80	BATH #2 ENTRY
026	30	80	MASTER BATH TOILET

WINDOW SCHEDULE			
#	SIZE		NOTES
	W	H	
G	310	108	STRUCTURAL CURTAIN WINDOW WALL
H	48	60	TWIN WINDOW
I	78	84	TWIN WINDOW
J	72	108	STRUCTURAL TWIN WINDOW
K	40	108	STRUCTURAL TWIN WINDOW
L	42	108	STRUCTURAL TWIN WINDOW

BASEMENT: 1,280 SQ. FT.
MAIN LEVEL: 1,280 SQ. FT.
2ND STORY: 1,280 SQ. FT.
TOTAL: 3,840 SQ. FT.

NOTE: ALL MEASUREMENTS FROM FRAMING

EXAMPLE ONLY



1 2ND STORY FLOORPLAN
 004 SCALE----- 1/4" = 1' 0"

REVISIONS

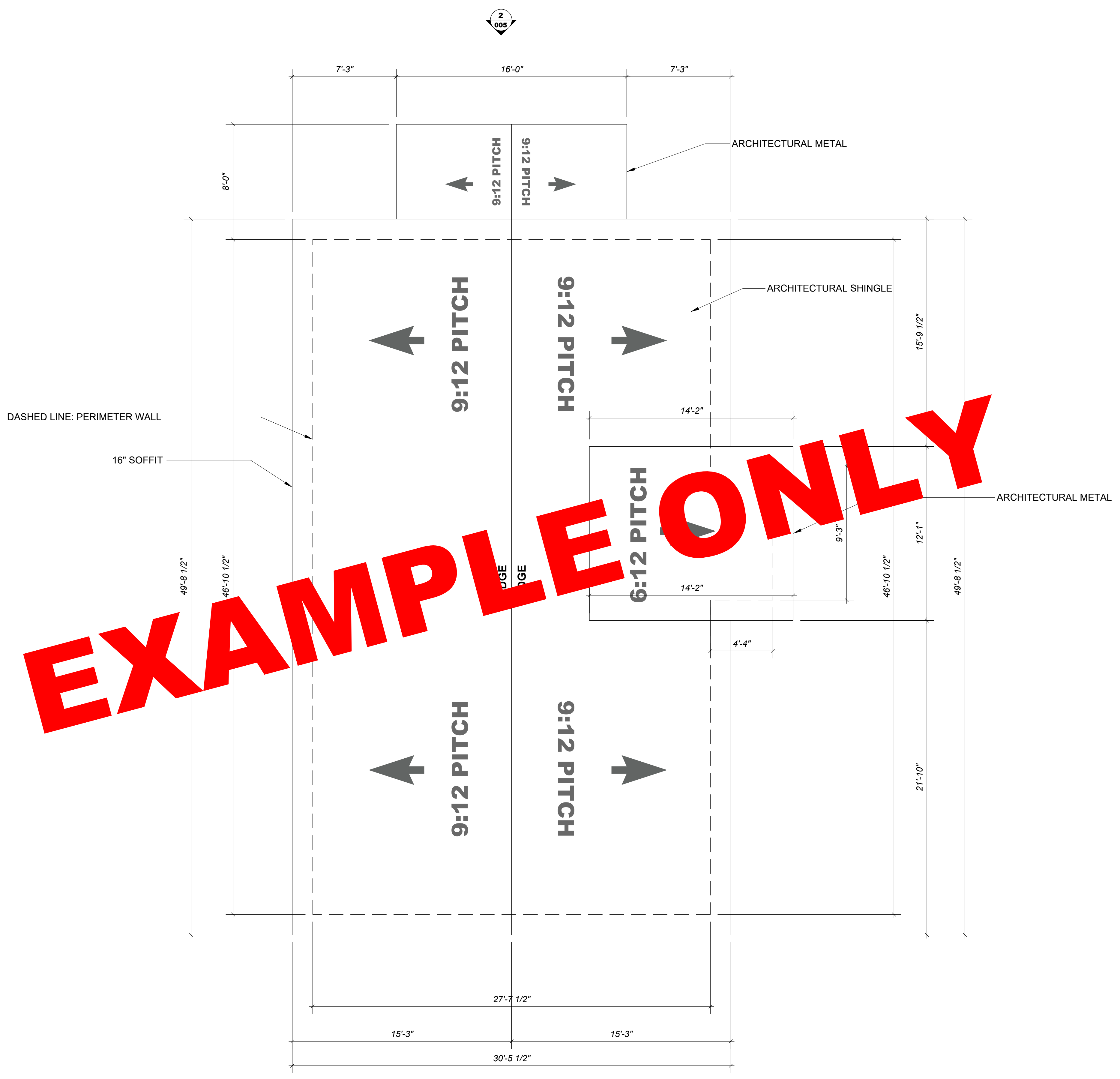
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BUILDER: TBD
 PROJECT: TBD

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2ND STORY FLOORPLAN
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ROOF SQUARE FOOTAGES: 2,245

ARCHITECTURAL SHINGLE: 1,893 SQ. FEET
 ARCHITECTURAL METAL: 352 SQ. FEET

REVISIONS		REMARKS
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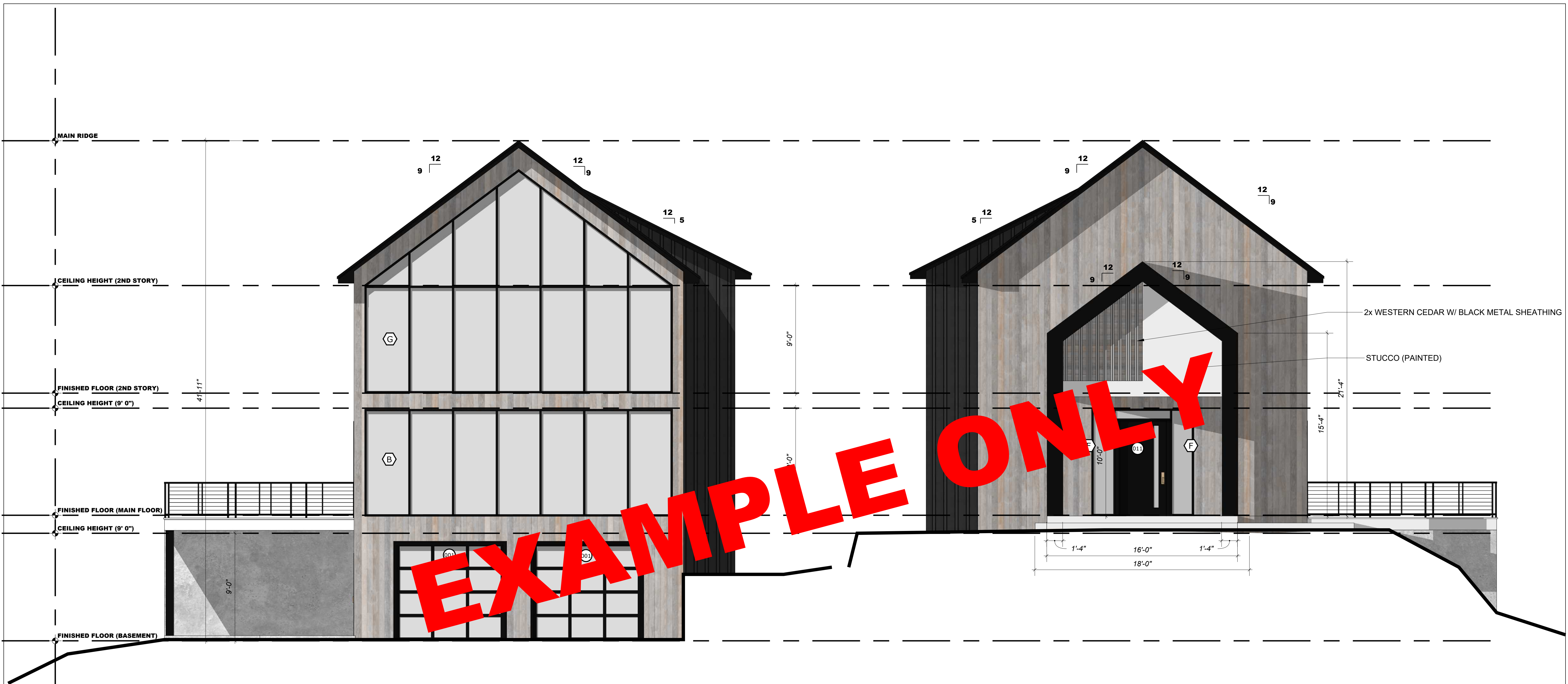
BUILDER: TBD
 PROJECT: TBD

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ROOF PLAN

NOT FOR CONSTRUCTION. BID DOCUMENT ONLY



1 SOUTH ELEVATION: FRONT
 005 SCALE----- 1/4" = 1' 0"

2 NORTH ELEVATION: REAR
 005 SCALE----- 1/4" = 1' 0"

REVISIONS	REMARKS
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BUILDER: TBD
 PROJECT: TBD

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FRONT & REAR ELEVATIONS
 NOT FOR CONSTRUCTION. BID DOCUMENT ONLY



1 EAST ELEVATION
SCALE----- 1/4" = 1' 0"

2 WEST ELEVATION
SCALE----- 1/4" = 1' 0"

REVISIONS	
NO.	REMARKS
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BUILDER: TBD
PROJECT: TBD

Drawings, when made, and design concepts shall not be used or reproduced in whole or part in any form or format without prior written consent of the Architect. The Architect is responsible for design only. All construction shall be in accordance with the approved plans and specifications. The contractor shall be responsible for obtaining all necessary permits and for coordinating with all other trades. The contractor shall be responsible for the safety of all workers and for the protection of all existing utilities. The contractor shall be responsible for the removal and disposal of all debris. The contractor shall be responsible for the maintenance of all access ways. The contractor shall be responsible for the protection of all adjacent properties. The contractor shall be responsible for the completion of all work within the specified time frame. The contractor shall be responsible for the payment of all bills and for the satisfaction of all subcontractors. The contractor shall be responsible for the coordination of all trades and for the overall management of the project. The contractor shall be responsible for the compliance with all applicable laws and regulations. The contractor shall be responsible for the safety of all workers and for the protection of all existing utilities. The contractor shall be responsible for the removal and disposal of all debris. The contractor shall be responsible for the maintenance of all access ways. The contractor shall be responsible for the protection of all adjacent properties. The contractor shall be responsible for the completion of all work within the specified time frame. The contractor shall be responsible for the payment of all bills and for the satisfaction of all subcontractors. The contractor shall be responsible for the coordination of all trades and for the overall management of the project. The contractor shall be responsible for the compliance with all applicable laws and regulations.



SIDE ELEVATIONS
NOT FOR CONSTRUCTION. BID DOCUMENT ONLY

RAILROAD TIE RETAINING WALL

POURED CONCRETE



EXAMPLE ONLY

1 COURTYARD LAYOUT
 007 SCALE----- 1/4" = 1' 0"

REVISIONS	REMARKS
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BUILDER: TBD
 PROJECT: TBD

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